

ARCHITECTURAL AND BUILDING GUIDELINES

HEUNINGBERG BREDASDORP



Heuningberg

For Generations

An Overberg Lifestyle Estate

Jaco Niemann
Professional Architect
B.Arch UFS | M.I.A C.I.F.A
Cell: 082 449 9442
jaco@niemannarchitects.co.za



NIEMANN
ARCHITECTS
AND ASSOCIATES

TABLE OF CONTENTS

1. INTRODUCTION.....	1
2. PURPOSE OF THE GENERAL GUIDELINES	1
3. APPLICATION PROCEDURE IN REGARDS OF BUILDING PLAN SCRUTINY	1
4. ARCHITECTURAL STYLE.....	3
5. CONSTRUCTION MATERIALS AND FINISHES.....	3
5.1. HOUSE WALLS.....	3
5.2. ROOFS.....	4
5.3. WINDOWS AND DOORS	4
6. BUILDING GUIDELINES.....	5
6.1. BUILDING FORM	5
6.1.1. Core Buildings	5
6.1.2. Abutments	5
6.2. BUILDING DIMENSIONS	7
6.2.1. Width	7
6.2.2. Height.....	7
6.2.3. Abutments	8
6.2.4. Width of Porticoes and Covered Entrances	8
6.3. BUILDING COVERAGE.....	9
6.4. BUILDING LINES (See Cape Aghullas Municipal zoning scheme)	9
6.5. BUILDING PLATFORMS	10
6.6. GARAGES AND CARPORTS.....	10
6.7. ROOFS.....	11
6.7.1. Structure and finishes	11
6.7.2. Flat roof construction for carports and abutments.....	12
6.7.3. Roofs to abutments and stoeps	12
6.7.4. DORMERS, ROOF LIGHTS & SKYLIGHTS	13
6.8. STOEPS AND VERANDAS	13
6.9. BOUNDARY WALLS.	14
6.10. GATES	16
6.11. EXTERIOR WALLS	17
6.12. WINDOWS & DOORS	17
6.13. SHUTTERS	18
6.14. EXTERIOR COLOURS	18
6.15. BALCONIES	18
6.16. BALUSTRADING	19

6.17. BURGLAR BARS & SECURITY GATES & LIGHTS.....	19
6.18. CHIMNEYS.....	19
6.19. LANDSCAPING	20
6.19.1. Plants List.....	21
7. SERVICES AND OTHER	21
7.1. EXTERNAL LIGHTS	21
7.2. BOREHOLES	22
7.3. SWIMMING POOLS	22
7.4. TELEVISION AERIALS, SATELITE DISHES & WIFI ANTENAS.....	22
7.5. GAS CYLINDERS, REFUSE BINS, CLOTHING LINES & AIR CONDITIONER CONDENSERS	22
7.6. RETAINING STRUCTURES	23
7.7. SOLAR HEATERS.....	23
7.8. WATER TANKS	23
7.9. DRIVEWAYS & ACCESS ROUTES.....	23
7.9.1. The following materials may be used for driveways	23
7.9.2. DRIVEWAY SIZES & LAYOUTS	26
7.10. ENERGY SAVING	26
7.11. PRIVACY	26
7.12. GENERAL.....	27
8. NHBRC	27
9. SPECIAL- AND SITE-SPECIFIC GUIDELINES.....	27

1. INTRODUCTION

In determining a system of building controls for Heuningberg Estate, we believe it to be more appropriate to outline goals and objectives to which building plans must conform, than to simply provide a list of prohibitions. The system of controls is to ensure that applicants engage with the positives described in the guidelines and that general principles be applied independently by knowledgeable professionals.

2. PURPOSE OF THE GENERAL GUIDELINES

The purpose of the general guidelines is to provide architects and property owners with a framework where individual owners can design and construct their buildings in a way that will ensure an integrated and harmonious cohesion of the architectural language for Heuningberg Estate.

The guidelines are not intended to inhibit innovative design, but rather to respect the “spirit of the place” in the challenge of interpreting the guidelines. The intention of the guidelines is to assist architects and owners involved in the design phase to create a quality design that will resonate positively with the “spirit of the place”.

The general guidelines must be adhered to. Special guidelines for certain sites may apply.

3. APPLICATION PROCEDURE IN REGARDS OF BUILDING PLAN SCRUTINY

The system of controls based on the guidelines will be scrutinised by an independent, qualified architect. The Property Owner’s Architect (POA) will be appointed by the Developer and the latter to be formed Home Owner’s Association. This affects that adjudication for appropriateness will not be by a committee of residents who may be subject to influencing and factionalism.

- (i) All building plans to be drawn by a
 - Registered Architect registered with SACAP (Pr.Arch)
 - Senior Architectural Technologist registered with SACAP (Pr.SAT)
- (ii) The Architect / Senior Architectural Technologist must certify in writing that he has studied the guidelines and that in his professional opinion his plans conform to the spirit and intent.
- (iii) Before preparing sketch plans, the Architect / Senior Technologist must familiarise him-/herself with the site and the constraints thereto.

- (iv) Sketch plans must be submitted as a first round of scrutiny to the appointed Control Architect who shall comment in writing within 10 calendar days of receipt thereof.
- (v) Full building plans, including a proposed landscaping plan, may be submitted only after the sketch plans have been provisionally approved by the POA, and must be submitted to the POA and the Chair of the Homeowners' Association that will distribute it to each of the immediate neighbours for relevant constructive comments within 5 calendar days
- (vi) The POA may seek and may take cognisance of opinions expressed by the Homeowners' Association and neighbours, but shall not be bound thereby, being bound only and absolutely to ensure the implementation of these guidelines and the goals and principles they set and advance.
- (vii) The POA shall respond to the plans within 10 calendar days of receipt thereof and shall – if not in agreement therewith – request a meeting with the applicants' architect to try and harmonise the plans with the goals and principles in these guidelines.
- (viii) Once the plans have been approved in writing by the POA, and endorsed by the Homeowners' Association, they may be submitted by the applicant to the Local Authority.
- (ix) Should the POA not find themselves able, after dialogue with the applicant, to certify the plans as approved by him, then he shall forthwith inform the applicant accordingly, in writing, briefly outlining his reasons for his decision.
- (x) The applicant may at this point either submit amended plans to the POA, or request that the matter be referred to the Home Owners' architectural arbitrator (to be appointed), who shall consider it in as expeditious and informal a manner as he deems necessary, but whose decision shall be final and binding.
- (xi) The decision must be rendered within three weeks of the matter having been submitted to the arbitrator, must briefly state reasons and suggest solutions (if any seem possible) and must be guided solely by these guidelines and the goals and principles enunciated therein, the cost of arbitration (irrespective of outcome) being for the account of the applicant.
- (xii) The Home Owners' Association may remove and replace the POA and the Arbitrator only with a 75% (seventy-five per cent) majority vote at a special general meeting of the

Association, after fourteen days written notice to all property owners of each such meeting had been given.

- (xiii) A set of the municipal approved plans to be submitted to the HOA before any work may commence on site.

4. ARCHITECTURAL STYLE

All houses shall be designed and constructed according to a Cape Vernacular architectural style as defined by the Property Owner's Architect (POA).

The built form of all the houses is to be made up of a combination of major and minor plan forms, including abutments.

Major plan forms are to be barn-like structures and not to exceed 7m in width and 18m in length, with a minimum width of 4,2m and length of 8m. These are to have a double pitched roof with a 40-degree roof pitch.

Linking roofs between major plan forms may have flat concrete or low-pitched metal sheet roofs concealed behind a parapet.

Minor plan forms as lean-to structures or abutments attached to the sides of a major plan form may not be wider than 4,2m.

Flat roofed buildings, such as garages, linking elements and porticos are permitted. The plan form must be rectangular, and the roof must be hidden behind parapet walls.

Houses can be single- or double storey (height restriction 8,5m allowing) with pitched roofs or a combination of pitch and flat roofs as aforementioned.

Each house must have at least a single garage, attached to the house structure. Car ports must be attached (with walling) to the house structure.

Pergolas attached to the house are encouraged. These should be of a style that match or complement the main structure and as approved by the POA.

5. CONSTRUCTION MATERIALS AND FINISHES

It is a requisite that each house will be harmonious with the surroundings and must use natural, sustainable, and environmentally friendly building materials wherever possible.

5.1. HOUSE WALLS

Walls should be constructed of sustainable material, such as clay brick, and stone (dry stacking or similar) as an

accent material. Concrete for beams in walls are allowed. External facades should be finished with smooth wood-trowelled cement plaster.

All chimneys and “braais” attached to the house, or freestanding, are to be built of the same materials as the walls and finished to match.

No cement blocks or bricks are to be used, except for garden walling. No exposed face brick or cement block is allowed, except for limited “klompie” (see photo) brick detailing which will be considered by the POA in its sole



Figure 1: Example of Klompie brick detailing

and absolute discretion. No fibre cement or wooden cladding on walls are allowed.

Brick size and specification to be clearly noted on the submission drawings.

5.2. ROOFS

Pitched roofs can be factory painted corrugated iron or secret-fix (Diamond deck or similar) trough & rib profiled metal sheeting. Roofs are to be charcoal grey (colour to be specified on drawing and will depend on the product used).

Galvanised roof sheeting, fibre cement shingles/slates and concrete tiles will not be allowed.

Fascias and barge boards should be fibre cement finished with paint to match the house or roof colour and should be clipped with no overhang.

All gutters, PVC or profiled aluminium, Ogee type or similar should be painted / factory coloured to match the roof and fascias.

Any roof penetrations must be painted to match the roof colour.

5.3. WINDOWS AND DOORS

All windows should be of wood, aluminium or featured steel and should be appropriate for the style of house in which they are to be used. North-facing passive solar (such as low-e) or tinted laminated glass fenestration is encouraged and double glazing is recommended. The exterior finish of the window frames should be complimentary to the exterior wall finish adjacent to the windows.

Non-anodised or clear anodised aluminium window frames are not permitted - only white, charcoal or other approved colour (HOA approval required) epoxy powder coated aluminium are allowed.

All front entry doors are to be made from wood, glass or aluminium as per requirements for windows above. Other exterior doors are to be of wood or aluminium and can be fully or partly glazed if desired and are to match or complement the style of the windows used. All garage doors are to be sectional overhead- or roll-up type, and can be wood or aluminium with colour to match the window and door frames.

6. BUILDING GUIDELINES

6.1. BUILDING FORM

6.1.1. Core Buildings

The building form shall consist of the main building structure – core building –

- (i) Core building to conform to the letter of the alphabet such as I, H, L, T and U, or variations thereof.
- (ii) Rectangular sections of the core buildings must be perpendicular to each other.
- (iii) In order to increase the available width abutments in various combinations are allowed.

6.1.2. Abutments

- (i) Abutments are rectangular, single or double storey extensions to core buildings.

(ii) Abutments must be built to the dimensions illustrated in this document. Refer to item 6.2.3.

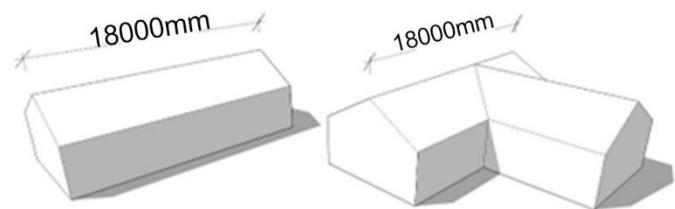


Figure 2

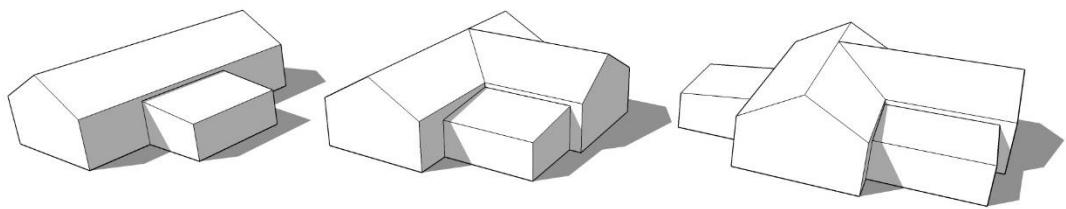


Figure 3

6.2. BUILDING DIMENSIONS

6.2.1. Width

Figure 4 indicates the relevant width (minimum and maximum) of the core building.

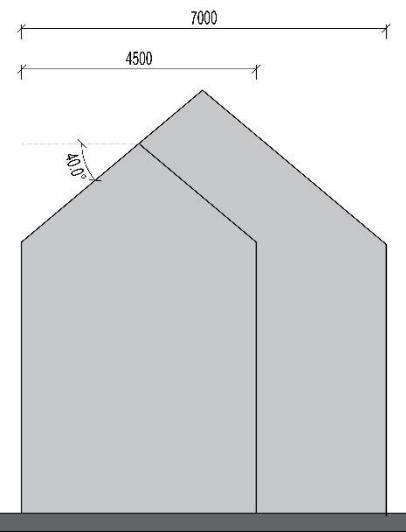


Figure 4

6.2.2. Height

- (i) Buildings can be single storey measuring min. 2975mm from finished floor level to max. 4000mm to underside of wall plate.
- (ii) Loft Areas are permitted.

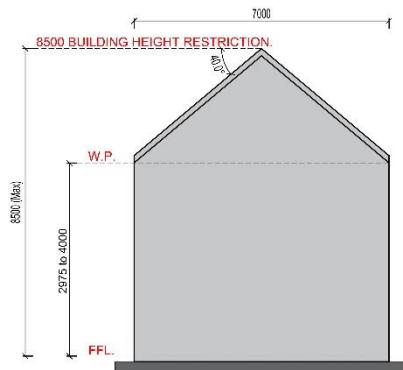


Figure 5

6.2.3. Abutments

The width of any abutment not to exceed 4,2m.
Abutments can be attached to single- or double
storey buildings.

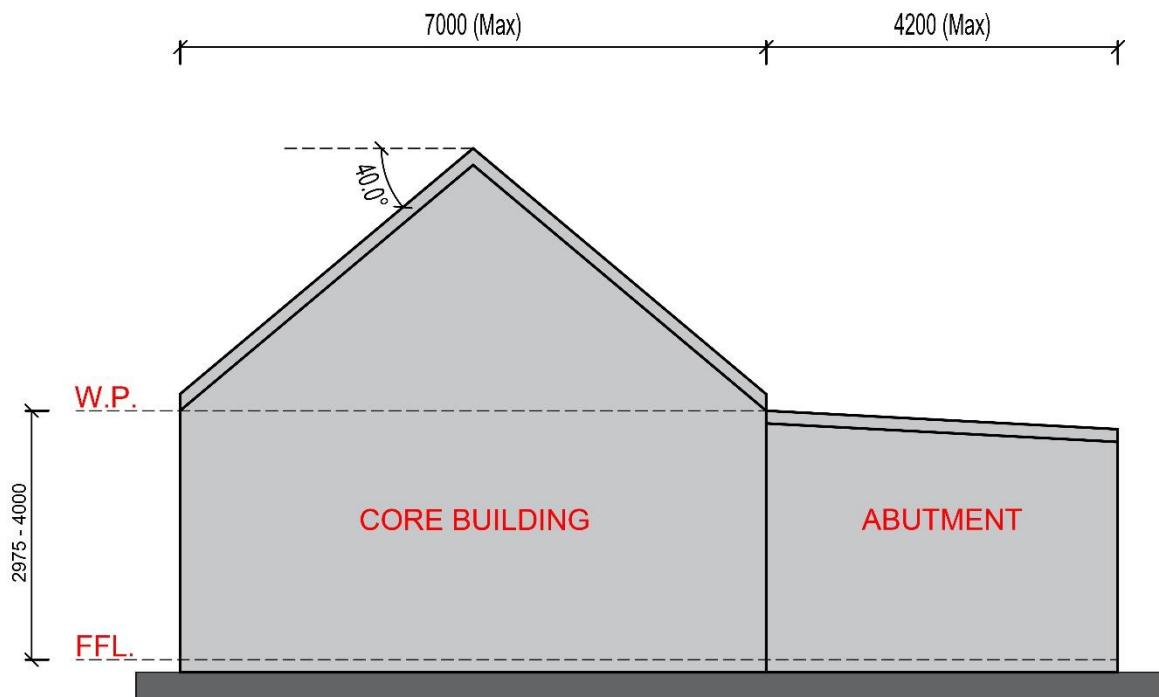


Figure 6

6.2.4. Width of Porticoes and Covered Entrances

Porticoes, covered entrances and linking elements
are allowed to be narrower than the prescribed

minimum width of core buildings and abutments and are for the architect's discretion.

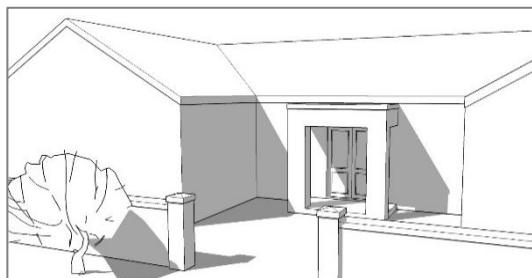


Figure 7

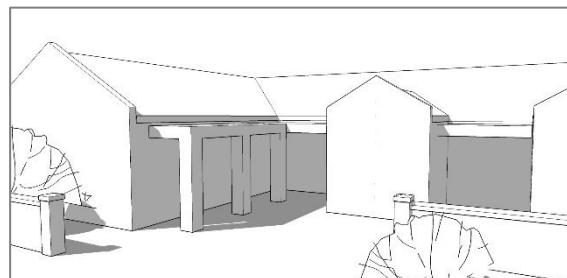


Figure 8

6.3. BUILDING COVERAGE

A maximum building coverage of 50% will be allowed.

Minimum building footprint of 150m² and must include a single garage.

No free-standing buildings allowed

6.4. BUILDING LINES (See Cape Agulhas Municipal zoning scheme)

(i) Street boundary:

4.0m (Erven with Average Depth more than 20.0M)
3.0m (Erven with depth less than 20.0m)

(ii) Shared lateral boundaries:

1,5 m (For erven narrower than 13.0m)
2,0 m (For erven wider than 20.0m)

(iii) Rear boundaries: 2.0 m

NOTE: SANS 10400: Part T to be adhered to for minimum distances between openings on adjacent erven.

6.5. BUILDING PLATFORMS

Buildings must be designed in response to the slope of the site. Stepped platforms may be agreed to with the POA and Home Owners' Association representative where severe slope of the site has a bearing on the connection of the driveway with the internal access road. Boundary walls to act as retaining structures where platforms are created and a level difference occur between sites. This will need to be clarified and addressed on drawings from the structural engineer appointed by the owner.



Figure 9

6.6. GARAGES AND CARPORTS

- (i) Garage doors must be sectional overhead or roll-up type doors with a simple horizontal pattern.
- (ii) Double garage doors are allowed.
- (iii) Aluminium doors must be powder coated – colour to match windows & doors.
- (iv) Meranti (painted or varnished) or similar wooden doors to match colour of pergolas.
- (v) Garage door opening minimum 2440 wide.

- (vi) Must be set back 4 m from the street boundary to create additional parking space in front of the garage.
- (vii) Garages may not be altered or changed into accommodation or living space.

6.7. ROOFS

6.7.1. Structure and finishes

Roofs are comprehensively described under construction material

- (i) Only double pitched roofs are allowed on core buildings
- (ii) Roof pitch of core buildings to be 40°. All double pitch roofs to be symmetrical at gable ends.
- (iii) Gable walls may project above the roof surface as a parapet wall.
- (iv) Roofs must have clipped/flush eaves with fascias on the longitudinal side. Roofs may not project on the gable side.
- (v) Roof materials
 - All roofs to be factory painted in a charcoal colour – colour to be noted on drawings for approval
 - Corrugated S-profile or
 - Diamond deck (or similar approved)
- (vi) Fascias and barge boards to be painted to match house or roof colour
- (vii) Gutters and downpipes
 - Gutters to be PVC half round or seamless aluminium with colour to match (fascia and) roof.
 - Downpipes to be round PVC or rectangular aluminium – colour to match wall colour.

6.7.2. Flat roof construction for carports and abutments.

- (i) Only flat roofs with minimum gradient falls to have parapet walls on all sides and box gutters will be allowed for carports and outbuildings.
- (ii) The following materials may be considered for flat roofs
- (iii) Metal roof sheeting finish to be factory pre-painted charcoal or black.
- (iv) Other material such as reinforced concrete with waterproofing on screeds to fall (min 1:50) and crushed stone chips.
- (v) Skylights may be used to permit light into interior spaces, though it should not be visible where possible from the street. Refer to item 7.6. for skylights.
- (vi) Shade cloth must be hidden behind (barge boards or) parapet wall. Only grey shade cloth is permitted.

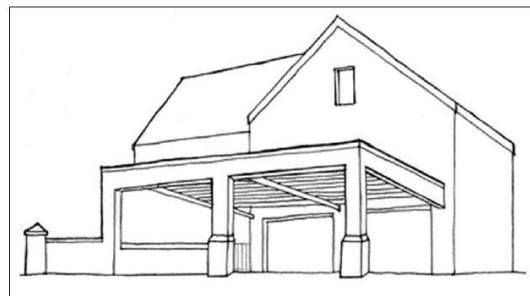


Figure 10



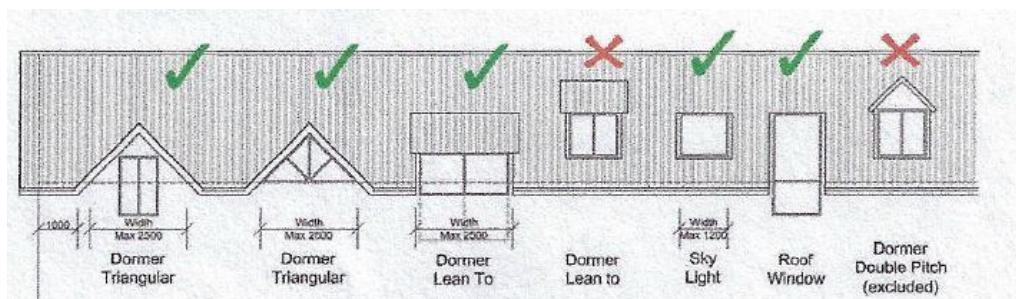
Figure 11

6.7.3. Roofs to abutments and stoeps

- (i) Where the verge of roofs to abutments and stoeps are exposed a minimum gradient of 10° is applicable.

6.7.4. DORMERS, ROOF LIGHTS & SKYLIGHTS

- (i) To Be designed as an integral part of the roof structure with vertical penetration, using the same pitch as the main roof or a 'barn lean to'.
- (ii) Dormer window widths are restricted to 2.5m (measured at wall plate) and may not exceed 20% of the roof length.
- (iii) To start at least 1000mm away from the gable edge
- (iv) Roof windows / skylights to be mounted flush with roof material
- (v) Roof lights must match Roof colour or similar approved colour
- (vi) Only one type of dormer (and not a combination of the permitted) may be used on a dwelling element.



6.8. STOEPS AND VERANDAS

- (i) Maximum use should be made of stoeps. Large window surfaces must be behind pergolas or verandas.
- (ii) Stoeps must be coherent with and complement the main building in design and use of materials.
- (iii) Veranda columns and rainwater downpipes should be designed to be compatible
- (iv) Stoeps can be covered with a lean-to roof of which the maximum gradient is 10°. The roof structure can be exposed or a ceiling may be provided.
- (v) Stoeps can be covered with flat roofs behind parapet walls.
- (vi) Alternatively, stoeps can be covered with a pergola with evenly spaced rafters with creepers such as

vines. Rafters to be varnished or painted with colours as elsewhere referred to.

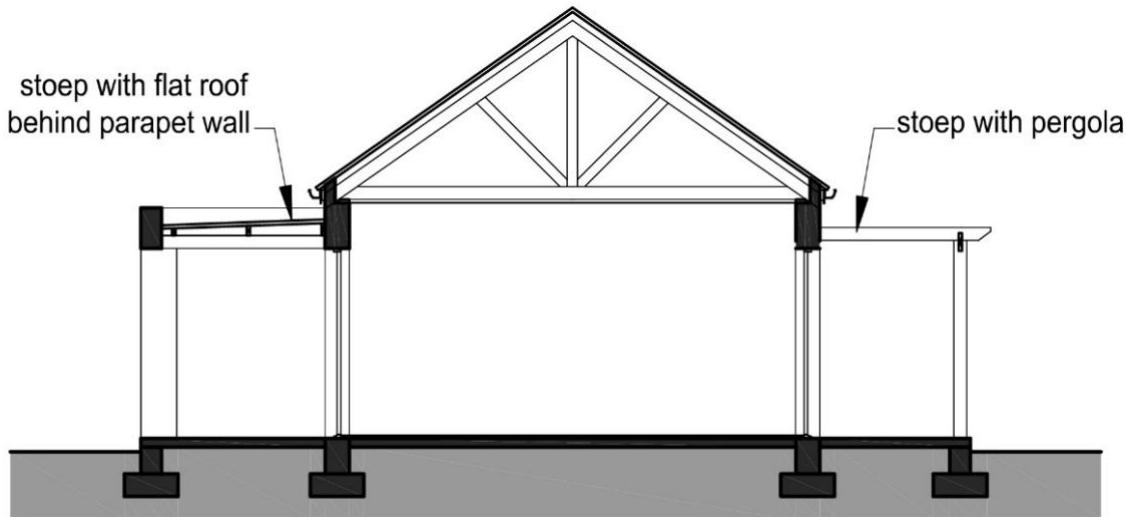


Figure 12: Example of stoep with pergola OR veranda

6.9. BOUNDARY WALLS.

(i) STREET BOUNDARIES:

The use of boundary walls with a maximum height of 1200mm such as Type A and B walls is encouraged for street boundaries, and must return for 3000mm on both adjoining shared/side boundaries.

(ii) SHARED BOUNDARIES:

Shared boundary walls between erven may either be Type B or Type C or a combination of both.

(iii) Where a combination of Type B and C is used, Type B must extend for 3m from the street boundary.

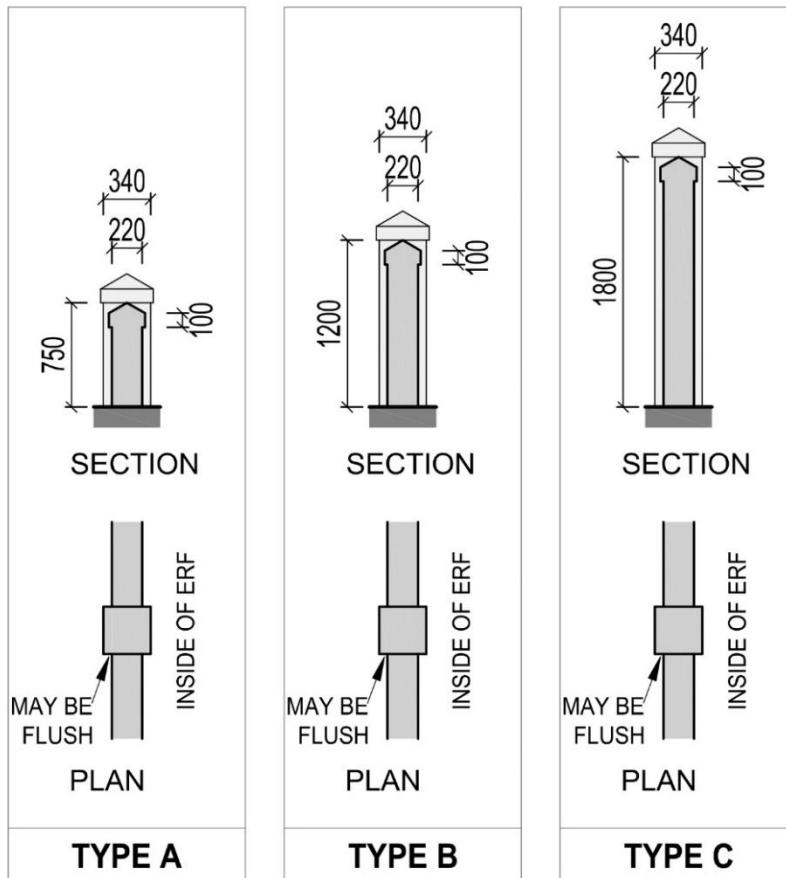


Figure 13

- (iv) A steel palisade may be erected on top of Type A & B walls to a maximum height of 1800mm on the shared boundaries. Where palisades are used, the palisade post must be square and a minimum of 70 x 70 mm and a maximum of 100 x 100 mm. Vertical balusters must be solid 10 x 10 mm and not more than 100mm apart.
- (v) xl
- (vi) Service yard walls may be 2100mm high for a maximum length of 15% of the side or back

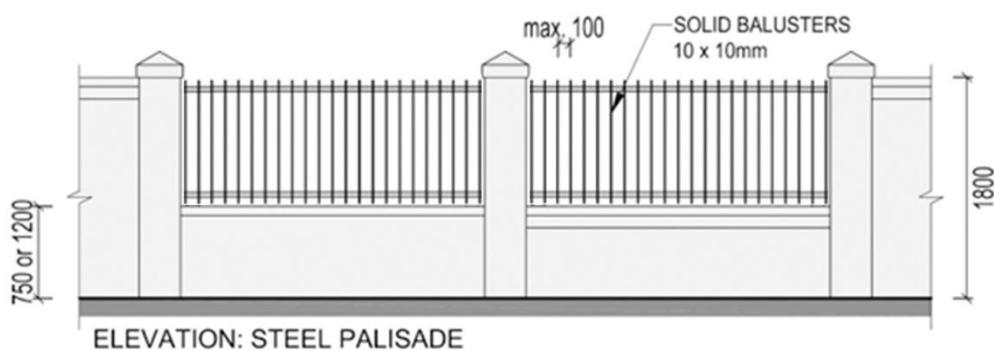


Figure 14

boundary. Height of walls to be indicated on the site plan.

6.10. GATES

- (i) Either wrought iron, steel or timber gates with varnish or painted finish may be used. Linear patterns of vertical rather than horizontal nature may be used. The gate height to be similar to the adjacent walls (Figure 14)



Figure 15

6.11. EXTERIOR WALLS

- (i) Walls must be plastered with a wood trowel finish and painted.
- (ii) All external window sills and surrounds must be plastered with a smooth trowel finish.
- (iii) Simple articulated plaster bands can be used and must have a minimum width of 120mm and maximum of 150mm.

6.12. WINDOWS & DOORS

- (i) Only windows in which the vertical dimension exceeds the horizontal are allowed. The ratio of horizontal dimensions to vertical must be between 1:1.5 and 1:2.
- (ii) Precast windows such as “Winblok”, glass blocks or leaded windows with patterns or mock sash type windows will not be allowed.
- (iii) No window- or door shade covers are allowed, other than pergolas and verandas.

(iv) Figure 15 indicates the door types and -dimensions allowed.

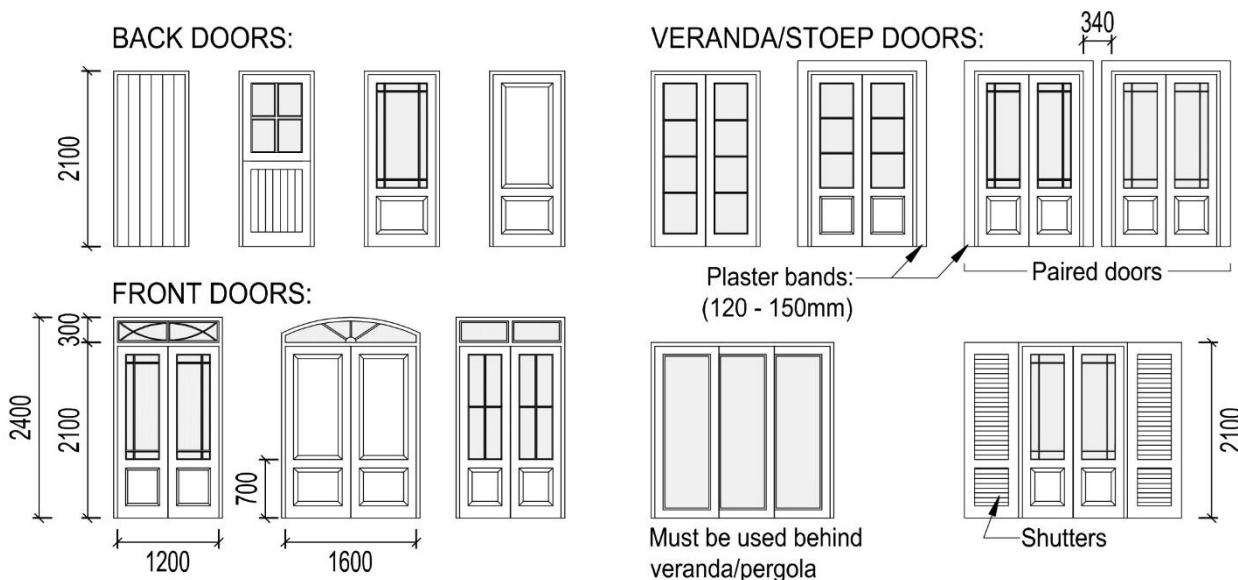


Figure 16

6.13. SHUTTERS

- (i) Shutters must be functional. No false shutters are permitted.
- (ii) Shutters may be epoxy powder coated aluminium or painted meranti.
- (iii) Colour of shutters must match that of the window frame over which they close or the colour of the wall.

6.14. EXTERIOR COLOURS

- (i) Plastered exterior walls, including boundary walls may be painted the following colours from the Plascon colour palette. Matching colours from other manufacturers will be allowed.
 - Cloud White
 - Jade White
 - Grecian White
- (ii) Timber windows and doors (excluding garage doors), shutters and ventilators may be varnished or alternatively painted in matching wall colour.

6.15. BALCONIES

Balconies must form an integral part of the design. Balcony floors can be tiled.

- (i) Romeo & Juliet type protruding 200mm max. past the exterior surface of the building with hand rails fixed to the side of the slab. Entire width of balcony not more than 2000mm.
- (ii) Slab protruding more than 200mm and less than 1200mm past the exterior face of the building with the handrail fixed to the side or top of the slab with the entire width of the balcony not exceeding 3000mm.
- (iii) Larger balconies such as on concrete roofs of buildings below are allowed. Privacy of adjacent owners is of utmost importance. Noise reduction must be considered at all times.

6.16. BALUSTRADING

- (i) Hardwood timber balustrade, varnished or painted to colours as mentioned elsewhere
- (ii) Square mild steel tubing and flats can be used. Painted to match the colour of the house.
- (iii) Glass balustrades with or without stainless steel top rail are allowed
- (iv) Design of the balustrading must be vertically proportioned and adhere to SANS 10400 Part D

6.17. BURGLAR BARS & SECURITY GATES & LIGHTS

- (i) All burglar bars, security gates and security screens, including expandable and sliding & roller shutter systems must be internally mounted to the openings which they secure.
- (ii) Burglar bars & security gates must compliment the building's design and overall appearance.
- (iii) Polycarb (clear) internal fixed burglar bars are encouraged.
- (iv) Security lights may not cast direct light outside the erf upon which they are situated. Lights must be movement-sensitive.

6.18. CHIMNEYS

- (i) All masonry chimneys should be strictly as per Figure 17 below.

- (ii) Internal combustion stoves & pipes to be installed by an accredited suppliers and must comply to SANS10400
- (iii) Braais and chimneys for braais, which do not form part of a core building, an abutment, a roof structure or a building, will be considered on a case-by-case basis.

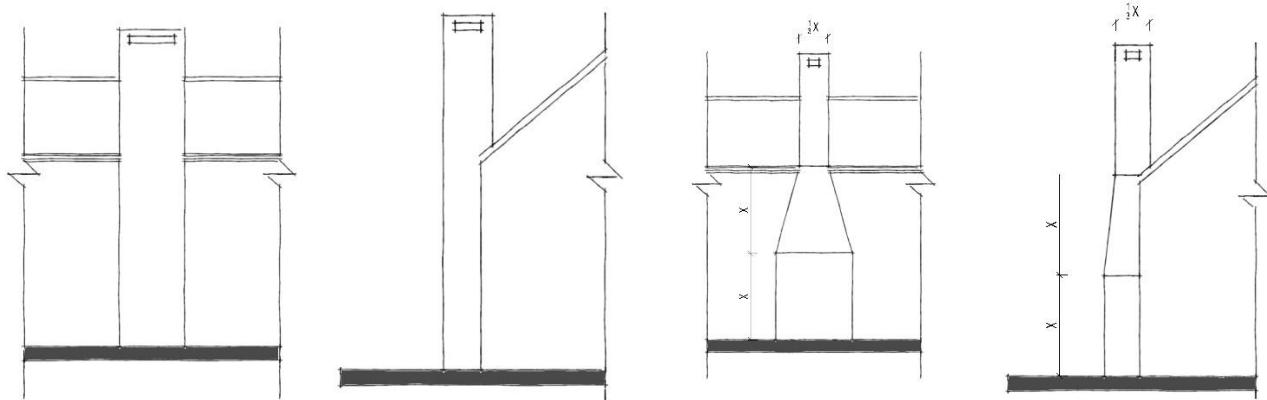


Figure 17

6.19. LANDSCAPING

- (i) The use of water wise plants & trees that are indigenous to the Bredasdorp Area is encouraged
- (ii) Fibreglass rocks & similar artificial elements will not be permitted
- (iii) Wendy Houses, Plastic Garden sheds or the like are not permitted
- (iv) Trees & plants to be planted in a sensitive manner to preserve the views of neighbours when trees are mature
- (v) No Palm, Black Wattle, Willow or Blue gum trees are permitted
- (vi) Ornate hard garden elements such as water fountains, garden gnomes and the like are not permitted

6.19.1. Plants List

Acacia cyclops A.Cunn. ex G.Don	Morella quercifolia (L.) Killick
Agathosma dielsiana Schltr.ex Dummer (LR-Ic)	MARZIE Ecological services. 67
Bassia diffusa (Thunb.) Kuntze	Muraltia satureioides DC. var. satureioides
Carpobrotus acinaciformis (L.) L	Oncosiphon sabulosum (Wolley-Dod) Kallersjo
Cassytha ciliolata Nees	Otholobium bracteolatum (Eckl. & Zeyh.)
Chironia baccifera L.	C.H.Stirt.
Chrysanthemoides monilifera (L.)	Passerina ericoides L.
Cineraria geifolia (L.) L.	Passerina rigida Wikstr.
Conicosia pugioniformis (L.) N.E.Br.	Passerina paleacea Wikstr.
Cotula turbinata L.	Pentaschistis calcicola H.P.Linder
Crassula glomerata P.J.Bergius	Phyllica stipularis L.
Cynodon dactylon (L.) Pers.	Rhus crenata Thunb.
Dasispermum suffruticosum (P.J.Bergius)	Rhus glauca Thunb.
B.L.Burt	Rhus laevigata L. var. laevigata
Dimorphotheca fruticosa (L.) Less	Rhus laevigata L. var. villosa
Dimorphotheca nudicaulis (L.) DC	Rhus lucida L.
Dischisma ciliatum (P.J.Bergius)	Sarcocinia littorea (Moss) A.J.
Drosanthemum intermedium (L.Bolus) L.Bolus	Scirpoides nodosus (Rottb.) Sojak
Ehrharta villosa Schult.f. var.maxima	Senecio arenarius Thunb.
Euclea racemosa Murray	Senecio elegans L.
Ficinia filiformis (Lam.) Schrad	Silene undulata Aiton
Galium tomentosum Thunb.	Solanum africanum Mill. (LR-Ic)
Hebenstretia cordata L.	Solanum nigrum L.
Helichrysum dasyanthum (Willd.)	Tetragonia decumbens Mill.
Helichrysum patulum (L.) D.Don	Tetragonia fruticosa L.
Ischyrolepis eleocharis (Mast.)	Tetragonia herbacea L.
Isolepis prolifer R.Br.	Thesidium fragile (Thunb.) Sond.
Metalasia muricata (L.) D.Don	Thinopyrum distichum (Thunb.) A.
Morella cordifolia (L.) Killick	Trachyandra divaricata (Jacq.) Kunth

7. SERVICES AND OTHER

7.1. EXTERNAL LIGHTS

- (i) The overriding principle is to reduce light pollution on the Estate as far as possible.
- (ii) No street-lights will be installed on the Servitude Area and are not permitted on Erven.
- (iii) No coloured light fittings, bulbs or glass are permitted for use in lights.
- (iv) Only white or black light fittings permitted.
- (v) No Christmas lights or similar visible from the outside of the house are permitted on the Estate.
- (vi) Security spotlights on Erven are only permitted if the same are only activated/switched on through motion sensors for security purposes and will not be activated by pets.
- (vii) Lights are to be of a design that shines up and down and not forward.

- (viii) No coloured bulbs are permitted outside.
- (ix) Uplighter spots against walls and trees are not permitted.

7.2. BOREHOLES

No boreholes will be allowed on any erf without the permission of the Homeowner's Association and municipal regulations.

7.3. SWIMMING POOLS

- (i) Swimming pools can be installed as per the municipal planning scheme. Erf owners are at all times responsible & liable to secure the pool as per NBR 10400 Part D
- (ii) No Temporary pools or "porta pools" type pools are allowed
- (iii) Pools are to be square or Rectangular in shape

7.4. TELEVISION AERIALS, SATELITE DISHES & WIFI ANTENAS

Television Aerials, satellite dishes and Wi-Fi antennas to be placed as discretely as possible.

Positions to be indicated on sketch plans.

7.5. GAS CYLINDERS, REFUSE BINS, CLOTHING LINES & AIR CONDITIONER CONDENSERS

All above-mentioned must be enclosed with walls or screened, or within the court yard and not visible from the street or adjoining properties.

7.6. RETAINING STRUCTURES

- (i) All retaining structures must be solid built walls in accordance with engineers' prescriptions.
- (ii) Vertical retaining walls on boundaries must be plastered and painted.
- (iii) Terra force or similar approved retaining blocks are allowed all in accordance with engineers' prescriptions.

7.7. SOLAR HEATERS

- (i) Only flat plate collectors or evacuated tubes. No external solar type geysers allowed.

7.8. WATER TANKS

- (i) Water tanks with a minimum capacity of 2500 litre per erf for rain water harvesting. Water tanks must be positioned not to be visible from the road or in an approved enclosure or screen if visible from the internal road.

7.9. DRIVEWAYS & ACCESS ROUTES

7.9.1. The following materials may be used for driveways

- (i) Clay bricks as per colour (Running Bond, Herringbone at 90 degrees, Herringbone at 45 degrees and Basket Weave, Fan Pattern). Examples are shown in Figures 18 and 19 below
- (ii) Natural gravel – laterite or similar as shown in Figure 20 below.
- (iii) If natural gravel is used for a walkway, it should be framed on either side with head-to-head 75mm clay brick.
- (iv) Cement or concrete is not permitted for any framing of walkways or driveways constructed with clay bricks or natural gravel. Cement cobles should be used for framing only if cement cobles are used for the paving itself.



Figure 18 – Clay Bricks

Figure 19 – Broken clay bricks in fan pattern is permitted



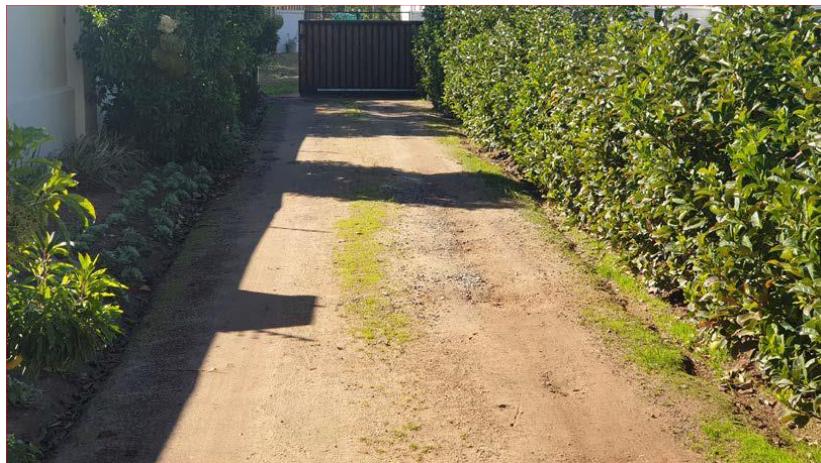


Figure 20 – Natural road gravel, laterite or the like is permitted



Figure 21 – Cement cobles is permitted



Figure 22 – Exposed cement aggregate pavers not permitted



Figure 23 – Crushed stones not permitted as driveway or otherwise

7.9.2. DRIVEWAY SIZES & LAYOUTS

- (i) Driveways to be not wider than 3 meters.
- (ii) Walkways are not to be wider than 1,8 meters and can only come to the edge of an Erf and not into the servitude
- (iii) The area of driveways, walkways, parking bays and the like should be limited in order to avoid large unattractive areas (See Figure 23 above as example). Breaking up the potentially large driveway areas with werf walls, soft landscaping and the like is encouraged. This aspect will be dealt with on a case-by-case basis.

7.10. ENERGY SAVING

- (i) Energy saving is encouraged
- (ii) Recycling of waste is encouraged
- (iii) Water Harvesting is encouraged

7.11. PRIVACY

- (i) Houses to be designed in such a manner that the privacy of neighbours and others respected

7.12. GENERAL

- (i) No Free-Standing Buildings
- (ii) Water & electricity meters to be installed in a standard meter box within the street boundary wall.
- (iii) Street numbers must be displayed on street boundary wall. Letter font: Arial or Arial Nova, not less than 200mm & not exceeding 300mm in height. All letters to be charcoal or black and fixed to the wall.
- (iv) Fire Wood Storage must not be visible from the street & discretely stored as possible and to pose no fire risk.

8. NHBRC

Where applicable, proof of NHBRC enrolment must be submitted to the Home Owner's Association before commencement of any building work.

9. SPECIAL- AND SITE-SPECIFIC GUIDELINES.

Notwithstanding anything to the contrary, the Developer reserves the right to, at any stage, issue special- and site-specific guidelines in its sole and absolute discretion.